



City Clerk Stamp

Office Use Only	Project Number	Public Hearing Date
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Property Address

Site Plan Review Submission Type – In accordance with Section VI.F.2.c of the Framingham Zoning Ordinance, please check all that apply

1) Minor Site Plan Review

- All substantial alterations of existing structures or expansions of existing structures that results in a total floor area between 3,000-30,000 gross square feet.
- All construction of a new structure or group of new structures resulting between 3,000 - 30,000 square feet of gross floor area.
- Change of use less than 30,000 square feet of gross floor area, that results in more than five additional required off-street parking spaces.
- Construction, alteration, or expansion of a parking lot greater than five parking spaces.
- Modifications to a site plan previously approved by the Planning Board.

2) Major Site Plan Review

- All construction of a new structure or group of new structures resulting in greater than 30,000 square feet of gross floor area;
- All substantial alterations of an existing nonresidential structure, resulting in a total of 30,000 square feet or more of gross floor area;
- All new Mixed Use and new Mixed Use Complex projects.

Provided Documentation – please check all that have been provided and/or complied with

- Compliance Review of the Framingham Central Business District Design Guidelines – 2015 (CB Design Guidelines)
- Site Plans prepared in accordance with Section II.I of the Framingham Zoning Ordinance and the CB Design Guidelines (please check all that are provided)
 - Project Title Sheet/Cover Sheet
 - Utility and Grading Plan Sheet
 - Locus Plan Sheet
 - Road and Sidewalk Plan Sheet
 - Existing Conditions Plan Sheet
 - Landscape Plan Sheet
 - Construction/Layout Plan Sheet
 - Photometric Plan Sheet
 - Erosion Control Plan (during construction)
 - Detail Plan Sheets
 - Architectural Rendering Sheet
 - Other Plan Sheet – please list

Zoning Information - Please refer to the Framingham Zoning Ordinance, Section IV.E. Dimensional Requirements for additional information

	Existing	Proposed	Required
Lot Area (square feet/acres)	/	/	/
Frontage of Property (feet)			
Front Setback (feet)			
Side/Rear Setback (feet)			
Minimum Landscape Open Space Surface Ratio (%)			
Building Height (feet)			
Lot Coverage (%)			
Gross Floor Area Ratio (FAR)			
Floor Area Ratio (gross floor area of buildings(s) ÷ size of parcel)			
Number of Parking Spaces			
Accessible Parking Spaces			
Bicycle Parking Spaces			
Loading Spaces			
Number of Loading Bays			

Site Plan Review Application Checklist

Applicants are responsible for ensuring that provided site plans and supporting documentation comply with the Planning Board's requirements for project review. Applications are reviewed for completeness and will not be scheduled for a Planning Board public hearing until an application is deemed complete. To expedite the review process, please ensure that the submitted site plans conform to the following requirements.

All Central Business District Projects - In accordance with Section 3.1.1 of the Planning Board Project Review Guidelines (Article 21: Site Plan Review Requirements of the Planning Board Rules and Regulations) cover sheets shall contain the following information:

1. Address(es) of the proposed project
2. Identification of parcel by Parcel ID
3. Project Title
4. Prepared by/Prepared for:
5. Professional Civil Engineer and/or Land Surveyor licensed in the Commonwealth of Massachusetts stamp and signature

6. Registered Architect licensed in the Commonwealth of Massachusetts stamp and signature
7. Zoning Table showing the existing, required, and proposed dimensions in accordance with Section IV.E, Dimensional Regulations of the Framingham Zoning Ordinance
8. Parking Table, showing the existing number of parking spaces, required number of parking spaces, and the proposed number of parking spaces. This Table shall include the dimensions of the proposed parking spaces, number and dimensions of the handicap accessible spaces, and number and dimensions of loading spaces
9. Maximum seating capacity, number of employees, and/or hotel/motel/other like use units if applicable
10. Locus Map to allow adequate consideration of the surrounding neighborhood; a plan of adjacent properties shall be presented at a scale of not less than one inch equals 100 feet or at the same scale as the proposed site plan if practical. This plan shall show the general characteristics of all lands within 300 feet of the proposed site or such other distance as may be reasonably required, including all building structures, parking areas, driveways, pedestrian ways, and natural topographical characteristics. Any structures or significant change in topography within 50 feet of the lot line shall be located precisely on said plan. All elevations are required to be surveyed using NAVD 1988.

All Central Business District Projects - Section 3.1.2 of the Planning Board Project Review Guidelines (Article 21: Site Plan Review Requirements of the Planning Board Rules and Regulations), requirements for plan sheets:

1. Site Plan Requirements

- | | |
|--|---|
| <input type="checkbox"/> Address(es) of the project, | <input type="checkbox"/> Planning Board Signature Block |
| <input type="checkbox"/> Identification of parcel by Parcel ID | <input type="checkbox"/> North arrow |
| <input type="checkbox"/> Project Title | <input type="checkbox"/> Scale of drawings |
| | <input type="checkbox"/> Date of plan and revision box |

2. Detail Sheet Requirements

- | | |
|--|---|
| <input type="checkbox"/> Address(es) of the project, | <input type="checkbox"/> Project Title |
| <input type="checkbox"/> Identification of parcel by Parcel ID | <input type="checkbox"/> Planning Board Signature Block |
| | <input type="checkbox"/> Date of plan and revision box |

3. Plan sets shall be accurately drawn to a scale of one-inch equals 20 feet to one inch equals 60 feet, where practical and appropriate to the size of the proposal.

4. Location of the following circulation shown on the site plans

<input type="checkbox"/> Pedestrian areas	<input type="checkbox"/> Access points
<input type="checkbox"/> Walkways	<input type="checkbox"/> Provisions for handicapped parking and access
<input type="checkbox"/> Flow patterns	<input type="checkbox"/> Bicycle accommodations

5. Circulation and dimensions shown on the site plans

<input type="checkbox"/> Total ground coverage	<input type="checkbox"/> Parking stalls
<input type="checkbox"/> All driveways	<input type="checkbox"/> Loading facilities
<input type="checkbox"/> Maneuvering spaces and aisles	<input type="checkbox"/> Circulation of traffic.

Major Site Plan Requirements - Content and Scope of Applications: Section 3.1.3 of the Planning Board Project Review Guidelines (Article 21: Site Plan Review Requirements of the Planning Board Rules and Regulations).

1. Existing Conditions site plan, showing the locations of all infrastructure on- and off- site, including sidewalks and roadways which are public and private, square feet and dimensional of all existing buildings on-site, existing off-street parking areas with dimensions of landscaping area.
2. A landscape plan at the same scale as the site plan, showing the limits of work, existing tree lines, and all proposed landscape features and improvements including planting areas with size and type of stock for each shrub or tree.
3. A photometric plan showing both the intensity of illumination expressed in foot-candles at ground level to the property's boundaries and the location, orientation, height, wattage, type, style, and color of outdoor luminaire(s) for all existing and proposed lighting. Photometric plan and details should be designed in accordance the Article 22: Site Plan Review Lighting Requirements, in the Planning Board's Rules and Regulations, herein.
4. Dimensions of proposed buildings and structures, including gross floor area, floor area ratio, total lot coverage of building, and breakdown of indoor and outdoor floor area as to proposed use. Area dimensions to include Lot Coverage of Building, Paved Surface Coverage, and Landscaped Open Space and Other Open Space, with percentages of these items to be provided and to total 100 percent of the lot area.
5. Color architectural renderings of new and redevelopment building projects.
6. Parking Plan showing the drive aisle widths, turning radius, stall heights and widths, locations of pedestrian and bicycle amenities, and landscaping.

Major and Minor Site Plan Requirements - Content and Scope of Applications § VI.F.4.a.1)-10)

1. A written statement outlining the estimated time required to complete the proposed project, expected start of construction, and all phases thereof.

2. A written summary, where appropriate, detailing the following:
 - a. The number of dwelling units to be built and the acreage in residential use; the number of seats and/or number of employees; evidence the project is in compliance with the City's off-street parking and off-street loading requirements; the forms of ownership of the property, and a summary of the provisions for ownership and maintenance thereof; identification of all land that is subject to becoming common or public land, and any other evidence necessary to indicate compliance with the Framingham Zoning Ordinance.
3. Drainage calculations prepared by a professional engineer registered in the Commonwealth of Massachusetts. Storm drainage design must conform to the requirements set forth by the MassDEP Stormwater Management Standards and Department of Public Works, using Best Management Practices. Furthermore, the report may include City, State, and federal requirements or established standards for implementing best management practices for stormwater management.
4. A written summary containing the Urban Design Objectives Narrative that provides a description of how the project will be designed to encourage complete streets including transit access and pedestrian and bicycle amenities, and their potential connections to the City's bicycle and pedestrian system.
5. A written summary which outlines proposed best management practices, low impact development (LID) features, and energy efficiency features utilized on-site.
6. A written summary of the design and location of proposed mechanical equipment, including HVAC equipment; noise levels related to mechanical equipment; information regarding possible future expansion, if relevant; location and operation of trash storage and removal systems; location and operation of loading facilities, measures taken to minimize the negative visual and noise impacts of such facilities on abutters; and hours of operation for each proposed use.
7. A written report of the existing and/or proposed sewer service infrastructure on-site and relative connection points. The report shall include a detailed description of the conditions of the pipes; a video inspection where appropriate and/or necessary; a detailed description of the anticipated impact of the project on the City's sanitary, stormwater, and sewer infrastructure. Where such determinations cannot be made at the time of application, the report shall indicate what investigations must be undertaken by the Applicant to make such determinations; also, a timeline for completion of the report shall be submitted for review by the Department of Public Works.
8. A written report of any proposed or potential blasting or soil compaction activities that is anticipated to take place during construction activities. The report shall include but is not limited to the means and methods for blasting or compaction activities to include abutter notification, methods for testing and data collection, and a summary of the process for how any real property claims of damage will be handled, investigated and resolved.
9. A written summary of water service infrastructure detailing the anticipated impact of the project on the City's water delivery infrastructure and supply. The summary shall indicate the likely improvements to infrastructure that are necessary to accommodate the identified impacts. Where such determinations cannot be made at the time of application, the report shall indicate what investigations must be undertaken by the Applicant to make such determinations; a timeline for completion of the report shall be also submitted for review by the Department of Public Works.

- 10. A written Parking Impact Report shall be submitted detailing the existing and proposed parking for the project including the following:
 - Existing off-site neighborhood parking conditions, including identification of streets likely to be affected by the project;
 - Projected impact of the project; and
 - Proposed methods to mitigate the estimated adverse impacts cause by the project related to parking such as promoting the use of bicycles, public transportation, or other appropriate means.

Major Site Plan Requirements - Content and Scope of Applications § VI.F.4.a.11) and 12)

- 11. **The following items are only required for Major Site Plan Review:** A written Traffic Impact Report shall be submitted for all projects requiring **major** site plan review. This report shall include existing pedestrian and vehicular traffic volume, composition, peak hour levels, existing street and sidewalk capacity, and analysis of existing and resulting level of services (LOS) for the following:
 - The nearest and/or most impacted public roadway intersection;
 - The estimated average daily traffic generation, including composition and peak hour levels;
 - The directional flows resulting from the project;
 - Any proposed methods to mitigate the estimated traffic impact such as promoting the use of public transportation, roadway improvements, or other appropriate means;
 - The methodology and sources used to derive existing data and estimations; and
 - The feasibility of traffic calming measures such as textured crosswalks, bike lanes, roundabouts, rumble strips, street trees, or bulb-outs.

- 12. **The following items are only required for Major Site Plan Review** A written Environmental Impact Report, including a Stormwater Report, and a Stormwater Management System Maintenance Report shall be submitted for projects requiring **major** site plan review, new construction of a building of any size, and/or installation of a stormwater management system The report should include the following:
 - Information regarding the impact of storm water runoff on adjacent and downstream water bodies, subsurface ground water, and water tables.
 - Information regarding the potential erosion and sedimentation caused by the operation and maintenance of the project and the mitigation efforts proposed. To this end, high intensity soil mapping, i.e., test borings and analysis, may be required as determined by the Planning Board.
 - For projects with significant environmental impacts to wetlands, floodplains, or other sensitive resources the Applicant shall include a report detailing the relationship of the project to the natural and man-made environment, and compatibility of the project with adjacent or surrounding land uses and neighborhoods. An Environmental Impact Report (EIR) required through the Massachusetts Environmental Policy Act (MEPA) process, which addresses the Planning Board's concerns, may be substituted in lieu of this report;
 - Proposed methods to mitigate the estimated environmental impacts such as promoting the use LID, best management practices, and other methods of design.

Waiver. The Planning Board, at its discretion, may waive technical and/or submittal requirements of Section VI.F.5. of the Framingham Zoning Ordinance for a project, where such technical and/or submittal requirements are not appropriate or relevant to the project. All Applicants seeking waiver request shall provide a detailed description of the need and rational for relief from the technical and/or submittal requirement.

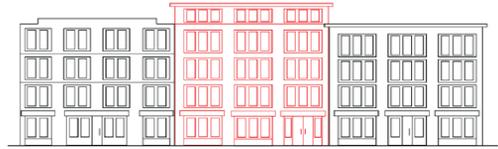
Request for Waivers

Central Business Design Standards

Framingham Zoning Ordinance, Section I.II.4 requires development within the CB District to comply with the Framingham Central Business District Design Review Guidelines – 2015 (CB Design Guidelines). In compliance with Section I.II.4.a-k, please reference the CD Design Guidelines and provide a statement of compliance below or within a separate document (please reference the respective sections of the Framingham Zoning Ordinance and CB Design Guidelines).

a. Building Scale

- 1) The base, middle, and top areas of a building shall be clearly delineated through the use of architectural features.
- 2) Ground level ceiling heights along primary roadways (Concord Street, Union Avenue, Waverly Street, and Hollis Street) shall be a minimum of 14 feet to accommodate retail uses.
- 3) New buildings' heights may differ, but shall reflect the height of adjacent buildings through aligning façade elements (e.g. cornices), or use of step backs to reinforce the scale, massing, and proportions of existing structures.



Appropriate infill. Although the height differs, the scale of the new building (red) is in harmony with the existing buildings. In particular, the ground floor facade modules, the rhythm of windows, and the proportion are consistent across the buildings.

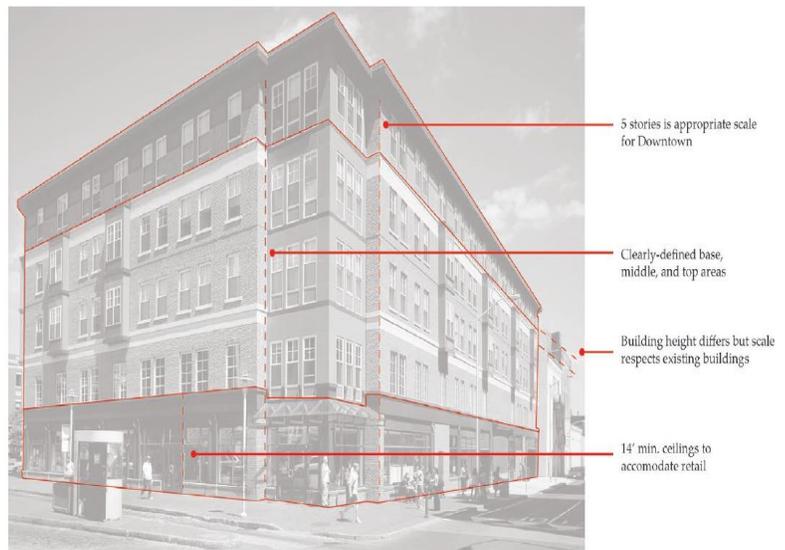


Inappropriate infill. This infill building (red) is out of scale with the existing buildings. The height and massing are drastically different, as are the side setbacks, first floor height, and rhythm of windows.

Please provide brief description of compliance

b. Facades

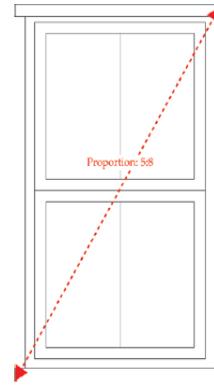
- 1) Buildings more than 50 feet in width shall be broken into bays to reflect the historic building rhythm of Downtown Framingham.
- 2) Flat facades shall be discouraged by the use of balconies, change of materials, or architectural detailing to provide visual appeal and to break down the building scale.
- 3) Blank wall surfaces greater than 20 feet in width are prohibited when visible from the street.
- 4) Sides of buildings with frontage on a street shall include windows and may include doors, as needed, along with architectural features that create interest to the less visible portion of the building.



Please provide brief description of compliance

c. Windows

- 1) Façades along primary downtown streets (Concord Street, Union Street, Waverly Street and Hollis Street) shall incorporate no less than 60 percent transparent glazing on the ground floor to maximize visibility of street level uses.
- 2) Façades along secondary streets shall incorporate no less than 40 percent transparent glazing on the ground floor.
- 3) No portion of the façade shall be constructed of glass that prevents pedestrian visibility of interior ground floor activities.
- 4) Upper floor windows shall not be larger than ground floor windows.
- 5) Wherever possible, window styles shall be compatible with the historic style of adjacent structures.



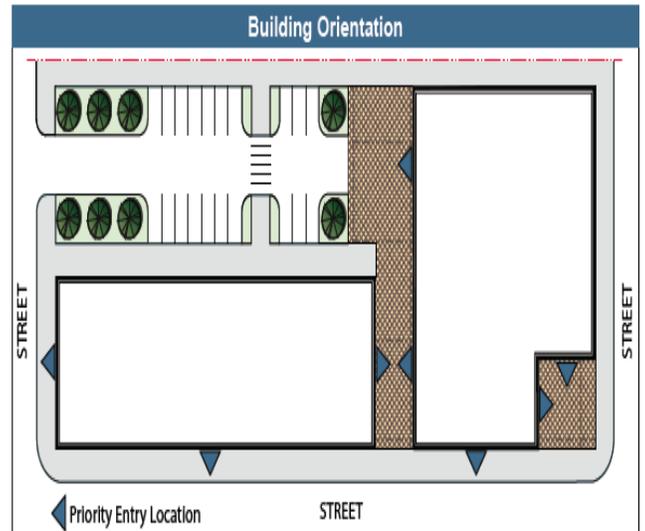
Although this does not need to be adhered to as an inflexible rule, one method for determining the proper proportion of windows is the Golden Section. This is one of the oldest systems of determining an "ideal" proportion, which is a rectangle with a width to length ratio of about 5:8, formed when the diagonal of a square is dropped as an arc. This proportion is still frequently used today in western art and architecture.



Please provide brief description of compliance

d. Entrances

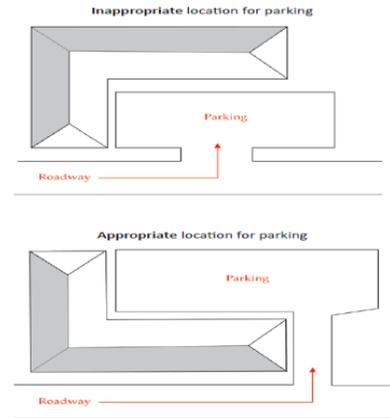
- 1) Building Entrances
 - i. Primary building entrances shall be located on public sidewalks/streets, or on corners wherever possible to emphasize the pedestrian environment.
 - ii. Doorways to upper floors shall be separate from ground level retail entrances.
 - iii. Doors shall not extend beyond the exterior façade into pedestrian pathways.
- 2) Parking Garage Entrances
 - iv. Parking garage entrances shall be sited in locations that minimize conflict and impacts between pedestrians and vehicles.
 - v. Audible notification and clearly visible signage shall be installed to inform pedestrians when vehicles are exiting the structure.



Please provide brief description of compliance

e. Parking

- 1) To encourage an active, pedestrian environment, vehicle parking shall be located behind or to the side of buildings whenever possible.
- 2) Below grade and structured parking are encouraged.
- 3) To encourage an active, pedestrian environment, surface vehicle parking shall be located behind or to the side of buildings.
- 4) Frequency and widths of curb cuts should be minimized to improve safety for pedestrians.
- 5) Electric vehicle (EV) charging stations are encouraged.



Please provide brief description of compliance

f. External Materials

- 1) Building materials shall reflect the character of Downtown Framingham. Predominant wall materials utilized within the CB District are brick, stone, and pre-cast concrete.
- 2) Fiber board/fiber cement board and wood siding are encouraged adjacent to residential districts.
- 3) The use of simulated and/or prefabricated brick or stone, particleboard, plywood, and/or aluminum and vinyl siding are strongly discouraged.

Please provide brief description of compliance

g. Awnings and Canopies

- 1) Awnings and canopies are encouraged to enliven the ground floor and to provide shelter for ground floor outdoor uses such as dining.

Please provide brief description of compliance

h. Roof Form

- 1) Roof forms and lines should complement adjacent buildings within the CB District.
- 2) Variations in height are encouraged through the use of architectural elements that may include cornices and parapets. These architectural features shall create interesting and varied rooflines.
- 3) Rooftop mechanical equipment shall be screened and designed as a component of the overall roof design. It shall not appear to be an add-on element.
- 4) Rooftop screening and mechanicals shall be designed to accommodate soundproofing.



Please provide brief description of compliance

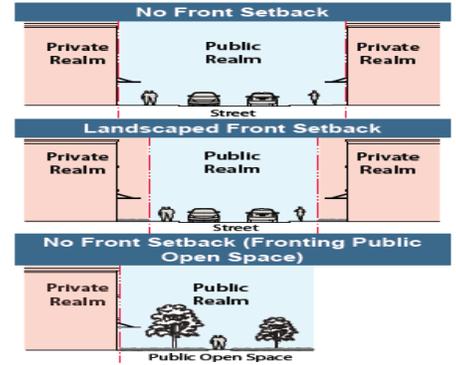
i. Service Areas, Utilities, and Mechanical Equipment

- 1) Service and loading areas, utilities, and mechanical equipment shall be located on the side or rear of a building. These features shall be sufficiently screened using architectural forms, fencing and/or landscaping so as to not be visible from streets and public open spaces.
- 2) Service areas, utilities, and mechanical equipment shall be designed to accommodate soundproofing.
- 3) Chain linked fencing shall not be permitted for screening.

Please provide brief description of compliance

j. Sidewalks

- 1) Sidewalks shall provide adequate space for all users, street furniture, trees/plantings, bicycle parking, and/or restaurant seating as part of the project.
- 2) Where appropriate, front setbacks should be used to accommodate plantings and/or outdoor restaurant seating.



Please provide brief description of compliance

k. Signage

- 1) All signage design and deployment shall comply with the City's Sign Regulations.

Please provide brief description of compliance

Waiver Request for Design Standards - All Projects within the Central Business (CB) Zoning District shall comply with Section II.I. Central Business (CB) Zoning District Design Standards. However, the Planning Board may waive the requirements for Section II.I. Central Business (CB) Zoning District by a four-fifth vote where such waivers will allow for better design and/or improved protection of historic resources. All Applicants seeking waiver request shall provide a detailed description of the need for relief from the technical and/or submittal requirement. Please list all waivers requested below or provide as a separate document.

Request for Waivers

Site Plan Review: Projects that require site plan review from the Planning shall demonstrate compliance with the following requirements from Section VI.F.6 of the Framingham Zoning Ordinances, when applicable.

a. Retain community character

- Minimizes obstruction of scenic views from publicly accessible locations;
- Minimizes impacts to important natural or historical features;
- Screens objectionable features such as large blank walls, open dumpster, loading or storage areas, from neighboring properties and roadways;
- Blends and harmonizes with the architectural style of the adjacent buildings and immediate neighborhood;
- Provides consistency with the architectural style, scale, density, massing and setbacks if located within a National Historic District and/or local historic district;
- Promotes architectural consistency using general design that is relevant to the significance of the site, building or structure, arrangement and texture, materials and color of the features involved and the relation of each feature to similar features of building and structures in the immediate neighborhood and surrounding area; and
- Demonstrates appropriateness relative to the size and shape of the buildings or structures both in relation to the land area upon which the building or structure is situated and to the adjacent buildings and structures within the neighborhood.

Please outline compliance with Section VI.F.6.a of the Framingham Zoning Ordinances below or in a separate document

b. Traffic, parking, and public access

- Minimizes vehicular traffic and safety impacts of the project on adjacent highways and roads;
- Provides adequate and appropriate facilities for the proper operation of the proposed use, including adequate off-street parking. Adequacy of proposed off-street parking facilities shall be determined by the Planning Board, in accordance with the provisions of Sections IV.A., IV.B., and IV.C. of the Framingham Zoning Ordinance;
- Maximizes the convenience and safety of vehicular, bicycle, and pedestrian movement within the neighborhood and site;
- Minimizes adverse impacts on neighborhood on/off-street parking and includes incentives for the use of alternatives to single-occupant vehicles; and
- Reviews all intersections and roadways projected to receive at least five percent of the expected traffic generated by the project, either based upon the total anticipated peak hour traffic generated by the proposed project, or based upon the total anticipated average daily traffic counts generated by the proposed project shall operate at a Level of Service of “B” or better for rural, scenic and residential streets and for all new streets and intersections to be created in connection with the project; and Level of Service (LOS) “D” or better for all other streets and intersections. The Applicant shall mitigate all derogation in LOS caused by the project through traffic improvements or cash payment for mitigation procedures to be conducted by the City. The Applicant shall provide an itemized list of necessary traffic improvements to bring the LOS as stated herein. For projects that cannot adequately mitigate

their impacts on the LOS due to the size of the project, the Applicant shall contribute a cash payment determined by the Planning Board, to be used for future reconstruction and/or construction of the impacted roadway(s).

Please outline compliance with Section VI.F.6.b of the Framingham Zoning Ordinance below or in a separate document

c. Environmental Impact

- The project shall not create any significant emission of noise, dust, fumes, noxious gases, radiation, or water pollutants, or any other similar significant adverse environmental impact. The Applicant may be required to submit data, reports, or other information sufficient to demonstrate compliance with this requirement.
- The project shall not increase the potential for erosion, flooding or sedimentation, either on- site or on neighboring properties; and shall not increase rates of runoff from the site to the satisfaction of the City Engineer and Department of Public Works. Provision for attenuation of runoff pollutants and for ground water recharge shall be included in the proposal. The project shall comply with Massachusetts Department of Environmental Protection’s (DEP’s) Stormwater Management Standards, 310 CMR 10.00.

Please outline compliance with Section VI.F.6.c of the Framingham Zoning Ordinance below or in a separate document

d. Health

- Minimizes adverse air-quality impacts, noise, glare, and odors;
- Does not create a hazard to abutters, vehicles, or pedestrians; and
- Provides for appropriate handling and disposal of hazardous materials and transmissions.

Please outline compliance with Section VI.F.6.d of the Framingham Zoning Ordinance below or in a separate document

e. Public services and utilities

- Is served with adequate water supply, wastewater systems, and solid waste disposal systems;
- Is within the capacity of the City’s infrastructure as defined by the water, sewer and Department of Public Works infrastructure;
- Includes measures to prevent pollution of surface or groundwater, minimizing erosion and sedimentation, as well as measures to prevent changes in groundwater levels, increased run-off, and potential for flooding; and
- Demonstrates an effort to conserve energy and water.

Please outline compliance with Section VI.F.6.e of the Framingham Zoning Ordinance below or in a separate document

f. Land Use Planning

- Demonstrates consistency with the land-use goals of the Framingham’s Master Land Use Plan.
- Open space and environmental protection:
 - a. Minimizes adverse impacts to open space usage and retention and is integrated into the natural landscape. Minimizes adverse environmental impacts to such features as wetlands, floodplains, and aquifer recharge areas and minimizes tree, vegetation, and soil removal, and grade changes.
- Proposes a landscape design that favors native and drought-tolerant species and avoids invasive plants.

Please outline compliance with Section VI.F.6.f of the Framingham Zoning Ordinance below or in a separate document